



COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
100 Civic Center Drive, P.O. Box 1768, Newport Beach, CA 92658-8915
(949) 644-3200 Fax: (949) 644-3229
www.newportbeachca.gov

**CITY OF NEWPORT BEACH
ZONING ADMINISTRATOR STAFF REPORT**

November 27, 2013

Agenda Item No. 4:

SUBJECT: Rafail Residence Modification Permit - (PA2013-213)
1246 Somerset Lane
▪ Modification Permit No. MD2013-021

APPLICANT: Sam Rafail

PLANNER: Makana Nova, Assistant Planner
(949) 644-3249, mnova@newportbeachca.gov

ZONING DISTRICT/GENERAL PLAN

- **Zone:** R-1-6,000 (Single-Unit Residential)
- **General Plan:** RS-D (Single-Unit Residential)

PROJECT SUMMARY

A modification permit to allow a 40 percent addition to an existing nonconforming single-family residence where the code limits additions up to 10 percent of the existing gross floor area when the required parking width is not provided. The garage provides a 19-foot-2-inch width where 20 feet is required. The garage is also nonconforming because it provides a 2-foot-2-inch side setback and 3-foot-2-inch rear setback where 6-foot side and rear setbacks are required.

RECOMMENDATION

- 1) Conduct a public hearing; and
- 2) Adopt Draft Zoning Administrator Resolution No. _ approving Modification Permit No. MD2013-021 (Attachment No. ZA 1).

DISCUSSION

- The subject property is located within the Mariner's Community. The community is characterized by a mix of single-story and two-story single-unit residences where the adjacent properties are currently single-story. The property is 8,656 square feet (approximately 0.2 acres) in area.
- The property is currently developed with a 2,476-square-foot, single-unit residence and 420-square-foot detached garage built in 1964. An addition to the residence was constructed in 1998 and an interior remodel was completed in 2000. At the time the original residence and garage were constructed, the minimum clear interior dimensions of the two-car garage (19 feet 2 inches wide by 20 feet deep) were compliant with the requirements of the Zoning Code. The garage has not been altered since the time of original construction.
- The existing garage is nonconforming because it provides a 19-foot 2-inch width where 20 feet is required. The garage is also nonconforming because it provides a 2-foot-2-inch side yard setback and 3-foot-2-inch rear yard setback where 6-foot side and rear yard setbacks are required. The location of the garage also projects into a 5-foot-wide utilities easement along the rear of the property. No alterations are proposed to the garage.
- The current Zoning Code requires the minimum clear interior dimensions for a two-car garage on lots wider than 40 feet to be 20 feet wide by 20 feet deep. Due to the change in the development standards related to minimum size of garage parking spaces required for lots 40 feet wide or more, the existing two-car garage is legal nonconforming. Additions to the existing residence are limited to 10 percent of the existing structure (Section 20.38.060.2.a and b: Nonconforming Parking – Dimensions or Type of Parking Spaces). A larger addition can be permitted with approval of a Modification Permit (Section 20.52.050).
- The proposed 1,175-square-foot second-story addition consists of one new bedroom and a new master suite located above the existing first-floor level.
- The clear interior garage spaces provided are adequate to park two vehicles and will not be reduced as a result of the design of the proposed additions.
- Pursuant to the Zoning Code (Table 3-10: Off-Street Parking Requirements), the addition will not result in a single-unit residence over 4,000 square feet of livable area; therefore, a third parking space is not required.
- The proposed addition will result in a residence that is comparable in size and scale to other single-unit residences in the neighborhood. The maximum lot coverage for the property is 5,140 square feet (60 percent). Lot coverage would not increase with

the proposed 2nd story addition. The applicant's proposed addition would create a residence with a total of 4,071 square feet including the garage. The result would be a residence that is comparable in size and scale to other dwellings in the neighborhood.

- The alternative would be to require the existing garage to be modified to provide the minimum 20-foot garage width, which would require alteration and modification of the existing structure above and beyond the current scope of work. A variance would be necessary to encroach into rear yard setback and the garage addition would also encroach into the existing utilities easement. The only other alternative is to maintain the existing residence in its current condition.

ENVIRONMENTAL REVIEW

The project is categorically exempt under Section 15301, of the State CEQA (California Environmental Quality Act) Guidelines - Class 1 (Existing Facilities). This exemption includes additions to the existing structure up to 50 percent of the existing floor area or 2,500 square feet, whichever is less and the proposed scope of work is below these limits.

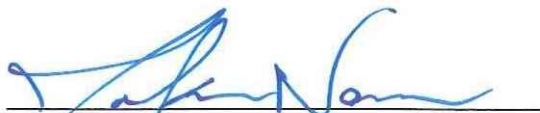
PUBLIC NOTICE

Notice of this application was published in the Daily Pilot, mailed to all owners of property within 300 feet of the boundaries of the site (excluding intervening rights-of-way and waterways) including the applicant and posted on the subject property at least 10 days before the scheduled hearing, consistent with the provisions of the Municipal Code. Additionally, the item appeared on the agenda for this meeting, which was posted at City Hall and on the City website.

APPEAL PERIOD:

An appeal may be filed with the Director of Community Development within 14 days following the date of action. For additional information on filing an appeal, contact the Planning Division at (949) 644-3200.

Prepared by:



Makana Nova
Assistant Planner

GR/mkn

Attachments: ZA 1 Draft Resolution
 ZA 2 Vicinity Map
 ZA 3 Site Photos
 ZA 4 Project Plans

Attachment No. ZA 1

Draft Resolution

RESOLUTION NO. ZA2013-0##

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH APPROVING MODIFICATION PERMIT NO. MD2013-021 TO ALLOW A 40 PERCENT ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE LOCATED AT 1246 SOMERSET LANE (PA2013-213)

THE ZONING ADMINISTRATOR OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by Sam Rafail, property owner, with respect to property located at 1246 Somerset Avenue and legally described as Lot 32 of Tract 3032, requesting approval of a modification permit.
2. The applicant proposes a modification permit to allow a 40 percent addition to an existing nonconforming single-family residence where the code limits additions up to 10 percent of the existing gross floor area when the required parking width is not provided. The garage provides a 19-foot-2-inch width is provided where 20 feet is required. The garage is also nonconforming because it provides a 2-foot-2-inch side setback and 3-foot-2-inch rear setback where 6-foot side and rear setbacks are required.
3. The subject property is located within the R-1-6,000 (Single Unit Residential) Zoning District and the General Plan Land Use Element category is RS-D (Single Unit Residential Detached).
4. The subject property is not located within the coastal zone.
5. A public hearing was held on November 27, 2013, in the Corona del Mar Conference Room (Bay E-1st Floor) at 100 Civic Center Drive, Newport Beach. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Zoning Administrator at this meeting.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. This project has been determined to be categorically exempt under the requirements of the California Environmental Quality Act (CEQA) under Class 1 (Existing Facilities) of the Guidelines for CEQA.
2. This exemption includes additions to the existing structure up to 50 percent of the existing floor area or 2,500 square feet, whichever is less. The proposed scope of work is below these limits.

SECTION 3. REQUIRED FINDINGS.

In accordance with Section 20.52.050.E (Required Findings, Modification Permits) of the Newport Beach Municipal Code (NBMC), the following findings and facts in support of the findings for a modification permit are set forth:

Finding:

- A. *The requested modification will be compatible with existing development in the neighborhood.*

Facts in Support of Finding:

1. The neighborhood is comprised of a development pattern of one- and two-story single-unit dwellings. The Modification Permit will allow a second-story addition to a one-story single-unit residence within the subdivision.
2. The applicant is proposing a 40 percent addition to the existing structures on the lot. The proposed addition will comply with all of the development standards, including lot coverage, height, and setbacks, and will not intensify or alter the existing nonconformities.
3. The resulting residence will consist of 4,071 square feet (3,651 square feet plus a 420-square-foot garage). Pursuant to Table 3-10: Off-Street Parking Requirements of the Zoning Code, it will not require the addition of a third garage parking space since the livable floor area (not including the garage) is less than 4,000 square feet.
4. The proposed addition will result in a residence that is similar in bulk and scale to others in the Mariner's Community.
5. The existing development on the property is a single-family residence. As such, there is no change to the density or intensity under the proposed remodel and addition.

Finding:

- B. *The granting of the modification is necessary due to practical difficulties associated with the property and that the strict application of the Zoning Code results in physical hardships that are inconsistent with the purpose and intent of the Zoning Code.*

Facts in Support of Finding:

1. The residences in this area were constructed with garages and setbacks that were in compliance with the Zoning Code at the time of construction. The Zoning Code requires 6-foot side setbacks. The lot was permitted to be developed with a single-family residence and detached garage in 1964. Therefore, the structure is considered legal nonconforming.

2. Although the existing garage does not provide the minimum clear interior dimensions required by the Zoning Code, it does provide two useable garage spaces and, therefore, meets the intent of the Zoning Code by providing adequate parking on the site. Approval of the Modification Permit allows the applicant to continue the use of the existing two-car garage, which has not proven detrimental to the occupants or neighbors.
3. The existing garage provides clear interior dimensions of 19 feet 2 inches in width by 20 feet in depth and its location is conflicting with the existing 5-foot-wide public utilities easements along the northeasterly property line acquired by the public at large for utilities purposes. Given the design of the existing residence and proposed scope of work, bringing the garage into conformance would require a significant expansion in the scope of work. A variance to allow an expansion to the garage would be required to allow encroachments into the rear yard setback. Additionally, the location of the addition would be within the existing 5-foot utilities easement.
4. The existing and proposed development will comply with the height limit, lot coverage, and residential design criteria as shown on the proposed plans.

Finding:

- C. *The granting of the modification is necessary due to the unique physical characteristic(s) of the property and/or structure, and/or characteristics of the use.*

Facts in Support of Finding:

1. The clear interior dimensions of the existing two-car garage were in compliance with the Zoning Code at the time of original construction. However, as a result of amendments to the Zoning Code, the two-car garage is now substandard in size, and is therefore legal nonconforming.
2. Bringing the existing two-car garage into conformance with the clear interior dimensions required by the current Zoning Code would result in a significant increase in the scope of the project. Since the existing garage provides two useable spaces, the intent of the code is achieved.

Finding:

- D. *There are no alternatives to the Modification Permit that could provide similar benefits to the applicant with less potential detriment to surrounding owners and occupants, the neighborhood, or to the general public.*

Facts in Support of Finding:

1. The alternatives would require that the applicant bring the existing two-car garage into conformance by expanding or relocating the existing garage. An addition in the

garages existing location would require a Variance for rear setback encroachments and a request for relief from the requirements limitations of the 5-foot utility easement.

2. The only other alternative is to maintain the existing residence without constructing the proposed addition.
3. The granting of the Modification Permit would not constitute a special privilege inconsistent with the limitations upon other properties zoned R-1-6,000 as it allows the property owner to maintain equity with other homes in the Mariner's Community, where similar additions have occurred. The proposed project is consistent with historic development in the neighborhood.
4. Strict compliance with 10 percent addition of the existing gross floor area pursuant to per Section 20.38.060.2.a (Nonconforming Parking) of the Zoning Code significantly limits the ability of the property owner to create a two-story home thereby depriving a substantial property right afforded by other R-1-6,000 lots in the Mariner's community.

Finding

- E. The granting of the modification would not be detrimental to public health, safety, or welfare to the occupants of the property, nearby properties, the neighborhood, or the City, or result in a change in density or intensity that would be inconsistent with the provisions of this Zoning Code.*

Fact in Support of Finding

1. Though the minimum clear interior dimensions will be less than the minimum required by the Zoning Code, it provides sufficient area for use as a two-car garage. The size of the spaces has not been detrimental to the occupants of the property, nearby properties, neighborhood, or City.
2. The project will not increase the nonconforming status of the existing structure and will comply with all other provisions of the R-1-6,000 Zoning District.
3. The side and rear setbacks provide adequate access for emergency personnel.
4. The spatial relationships between existing development and the adjacent property suggest that the light, air, and privacy of the abutting home and property will not be negatively affected by the proposed addition. The proposed addition is approximately 24 feet 8.5 inches in height at its highest point. The height is well below the 29-foot height limit for sloped rooflines. The addition will comply with all applicable development standards.
5. The approval of this Modification Permit is conditioned such that the applicant is required to obtain all necessary permits in accordance with the Building Code and other applicable Codes. The applicant/owner is required to obtain a building permit. The construction will then be inspected prior to final of building permits.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The Zoning Administrator of the City of Newport Beach hereby approves Modification Permit No. MD2013-021, subject to the conditions set forth in Exhibit A, which is attached hereto and incorporated by reference.
2. This action shall become final and effective 14 days after the adoption of this Resolution unless within such time an appeal is filed with the Community Development Director in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 27th DAY OF NOVEMBER, 2013.

Brenda Wisneski, AICP, Zoning Administrator

DRAFT

EXHIBIT "A"

CONDITIONS OF APPROVAL

PLANNING

1. The development shall be in substantial conformance with the approved site plan, floor plans and building elevations stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)
2. Modification Permit No. MD2013-021 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 (Time Limits and Extensions) of the Newport Beach Municipal Code, unless an extension is otherwise granted.
3. The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.
4. The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for revocation of this Use Permit.
5. The Zoning Administrator may add to or modify the conditions of approval to this Modification Permit or revoke this Modification Permit upon a determination that the operation, which is the subject of this Modification Permit, causes injury, or is detrimental to the health, safety, peace, comfort, or general welfare of the community.
6. A copy of the Resolution, including conditions of approval Exhibit "A" shall be incorporated into the Building Division and field sets of plans prior to issuance of the building permits.
7. Prior to issuance of building permits, the applicant shall submit to the Planning Division an additional copy of the approved architectural plans for inclusion in the Modification Permit file. The plans shall be identical to those approved by all City departments for building permit issuance. The approved copy shall include architectural sheets only and shall be reduced in size to 11 inches by 17 inches. The plans shall accurately depict the elements approved by this Modification Permit and shall highlight the approved elements such that they are readily discernible from other elements of the plans.
8. This approval shall expire and become void unless exercised within 24 months from the actual date of review authority approval, except where an extension of time is approved in compliance with the provisions of Title 20 Planning and Zoning of the Newport Beach Municipal Code.
9. To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages,

actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Rafail Residence Modification including, but not limited to, the Modification Permit No. MD2013-021 (PA2013-213). This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages, which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.

Building Division Conditions

10. The applicant is required to obtain all applicable permits from the City's Building Division and Fire Department. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements.
11. Prior to the issuance of building permits, the wood shingle roofing shall comply with NBMC 15.04.200 (Amendment to Table 1505.1) and NBMC 15.04.220 (Amendment to Section 1505.1.3). Class A roofing is required for all new construction. When more than 50 percent of the existing roof is modified, the entire roof shall comply with Class A assembly.
12. Prior to the issuance of building permits, the sprinkler system shall be modified to include the entire structure and shall not be limited to the new addition.
13. Prior to the issuance of building permits, the window opening protective and eave projections shall comply with the California Residential Code (CRC).
14. The setback for the existing garage is nonconforming and any new work on the garage shall require the structure to comply with the new code as it relates to fire resistive rating per Section R302 and Table R302.1.

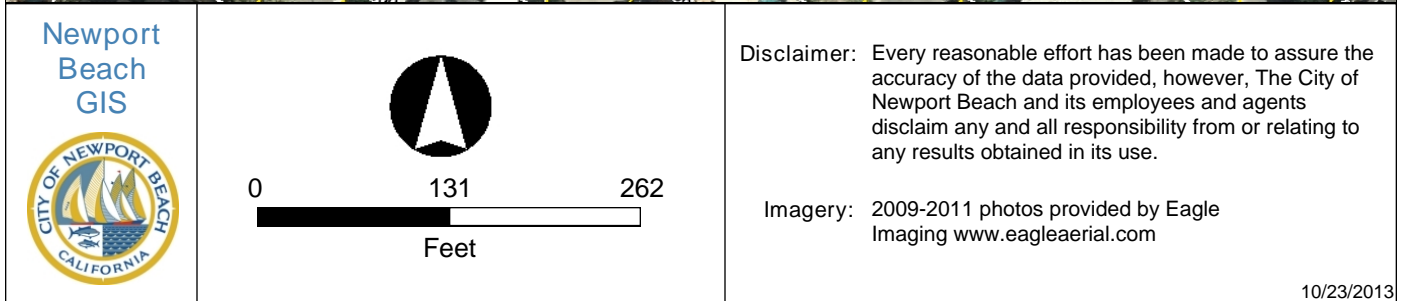
Public Works Conditions

15. All improvements shall be constructed as required by Ordinance and the Public Works Department.
16. The applicant shall reconstruct the existing broken and/or otherwise damaged concrete sidewalk panels, curb, and gutter along the Somerset Lane frontage.

17. The applicant shall remove the existing concrete between the curb and the sidewalk and replace with new sod or low groundcovers of the type approved by the City throughout the Somerset Lane parkway fronting the development site.
18. A new sewer cleanout shall be installed on the public side of the property line, with a traffic-grade box and cover.
19. An encroachment permit is required for all work activities within the public right-of-way.
20. All improvements shall comply with the City's sight distance requirement. See City Standard 110-L and Section 20.30.130 (Traffic Safety Visibility Area) of the Zoning Code.
21. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way shall be required at the discretion of the Public Works Inspector.
22. All on-site drainage shall comply with the latest City Water Quality requirements.
23. The existing street tree shall be protected in place.
24. Prior to the issuance of building permits, the property owner shall obtain letters from utilities companies (Southern California Edison, Time Warner, The Gas Company, and AT&T) acknowledging the existing encroachment. Letters shall be scanned onto project plans.
25. County Sanitation District fees shall be paid prior to the issuance of any building permits.

Attachment No. ZA 2

Vicinity Map



Attachment No. ZA 3

Site Photos



Attachment No. ZA 4

Project Plans

RECEIVED BY
COMMUNITY

OCT 30 2013

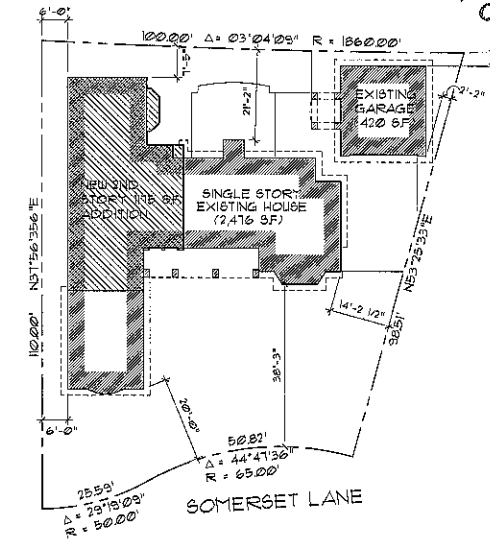
DEVELOPMENT
CITY OF NEWPORT BEACH

FRAMING NOTES

1. ALL BEAMS AND HEADERS TO BE D.F. #2 OR BETTER, UNLESS NOTED OTHERWISE. BASIC DESIGN STRESS 10,000 PSI.
2. ALL JOISTS AND RAFTERS TO BE HF #2 OR BETTER, UNLESS NOTED OTHERWISE. BASIC DESIGN STRESS 10,000 PSI.
3. STUDS, PLATES AND MISG. ROUGH FRAMING TO BE D.F. STANDARD GRADE.
4. ALL WOOD EXPOSED TO WEATHER (I.E.: EXPOSED DECK, JOISTS, BEAMS, POSTS, DECKING, AND RAILINGS) SHALL BE EITHER PRESSURE TREATED OR CEDAR OR REDWOOD MATERIAL.
5. ALL WOOD MEMBERS COMING INTO CONTACT WITH CONCRETE, EARTH, OR MASONRY SHALL BE PRESSURE TREATED PER CBC.
6. PLYWOOD SHEATHING SHALL BE PER NOTES AND SHEAR WALL SCHEDULE ON SHEET A-1.
7. PROVIDE NAILING AS INDICATED ON SHEET A-2.
8. PROVIDE 2" SOLID BLOCKING AT JOIST SUPPORTS AND BEARING PARTITIONS. JOISTS PARALLEL TO AND UNDER PARTITIONS SHALL BE DOUBLED.
9. BORED HOLES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/4 OF THE JOIST'S DEPTH. HOLES BORED IN JOIST SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF SUCH HOLES SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE JOIST. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 OF THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN.
10. BORED HOLES IN STUDS SHALL NOT EXCEED 40% OF THE STUD WIDTH. WHERE LARGER HOLES ARE REQUIRED, A DIAMETER OF 60% IS PERMITTED PROVIDING THE STUDS ARE DOUBLED AND NO MORE THAN 2 SUCH DOUBLED STUDS ARE BORED. NOTCHES AND CUTS IN STUDS NOT EXCEEDING 25% IN DEPTH ARE PERMITTED.
11. ALL EXTERIOR WALLS AND MAIN CROSS-STUD PARTITIONS SHALL BE EFFECTIVELY AND THOROUGHLY BRACED PER CBS.
12. PROVIDE FIRE AND DRAFT STOPS PER CBC. ADDITIONAL BLOCKING AND BRACING FOR THE ATTACHMENT OF FIXTURES AND CABINETRY SHALL BE SECURELY ATTACHED TO THE FRAMING WITH AT LEAST 3-8d NAILS PER END. FIRE-BLOCK STAIRS WITH 2 x 4 BLOCKING BETWEEN STRINGERS AT TOP AND BOTTOM AND ALONG RUN BETWEEN STUDS.
14. USE APPROPRIATE SIMPSON "STRONG-TIE" CONNECTORS OR EQUAL FOR ALL JOIST, RAFTER, BEAM, COLUMN AND SIMILAR CONNECTIONS.
15. FASTENERS FOR PRESERVATIVE TREATED AND FIRE TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153.

PROJECT DATA

1. OCCUPANCY GROUP: R-3A
2. CONSTRUCTION TYPE: VB FULLY SPRINKLERED
3. STORIES: 2
4. CODES:
2010 CALIFORNIA BUILDING CODE (CBC),
2010 CALIFORNIA PLUMBING CODE (CPC),
2010 CALIFORNIA MECHANICAL CODE (CMC),
2010 CALIFORNIA ELECTRICAL CODE (CEC),
2010 CALIFORNIA RESIDENTIAL CODE (CRC),
2010 CALIFORNIA ENERGY CODE,
2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
5. OWNER'S NAME/ADDRESS/PHONE NO.
SAM RAFAIL
1246 SOMERSET LANE
NEWPORT BEACH, CA 92660
(949) 480-3584
6. AGENT'S NAME/ADDRESS/PHONE NO.
DENNIS DESILVA
20750 SW ACACIA STREET, SUITE 130
NEWPORT BEACH, CA 92660
(949) 261-5482
7. STRUCTURAL ENGINEER
GOUVIA ENGINEERING
4400 CAMPUS DRIVE
NEWPORT BEACH, CA 92660
(949) 152-1612
8. ENERGY CONSULTANT
GOUVIA ENGINEERING
4400 CAMPUS DRIVE
NEWPORT BEACH, CA 92660
(949) 152-1612



LOT DATA:

LOT SIZE: 8561 SF.
(0.191 ACRES)
OCCUPANCY GROUP: R3 / U
CONSTRUCTION TYPE: VB,
SPRINKLERED
EXIST. LOT COVERAGE: 40.6%
NEW LOT COVERAGE: 42.3%

EXISTING HOUSE: 2416 SF.
NEW ADDITION: 1175 SF.
TOTAL SF: 3591 SF.
EXISTING GARAGE: 420 SF.
REMODELED AREA: 1168 SF.

SITE NOTES:

1. FINISH GRADE AROUND THE NEW STRUCTURE/ADDITIONS SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES. ADJUST EXIST. GRADE AND CONC. FINISH AS REQ'D. TO ALLOW MIN. 2% SLOPE AWAY FROM HOUSE AT DOORS.
2. TIE ALL NEW ROOF DRAINAGE INTO EXISTING SITE STORMWATER SYSTEM. CONVEY WATER TO STREET GUTTER WITHOUT EROSION OR FLOWING OVER 1) PROPERTY LINE
2) PUBLIC RIGHT-OF-WAY
3) PUBLIC SIDEWALK

SITE PLAN

SCALE: 1"=20'-0"

GRAPHIC SCALE (FEET)
0 5 25 50

SHEET INDEX

- A-1 NOTES / SITE PLAN
- A-2 1ST FLOOR PLAN
- A-3 ROOF PLAN / 2ND FLOOR PLAN
- A-4 BUILDING ELEVATIONS
- A-5 BUILDING SECTIONS / DETAILS
- 9N-1 GENERAL NOTES AND REQUIREMENTS
- 9N-2 STRUCTURAL DETAILS AND NOTES
- S-1.1 FOUNDATION PLAN
- S-1.2 SECOND FLOOR FRAMING PLAN
- S-1.3 ROOF FRAMING PLAN
- SD-1 STRUCTURAL FOUNDATION DETAILS
- SD-2 STRUCTURAL DETAILS AND NOTES
- SD-3 STRUCTURAL DETAILS
- T-24.1 TITLE 24

DEFERRED SUBMITTALS

1. TRUSS PACKAGE
2. FIRE SPRINKLERS

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL (RDP) IN RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE RDP WHO SHALL REVIEW THEM PRIOR TO FORWARDING THEM TO THE CITY WITH A NOTATION INDICATING THAT THE DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. (CHAPTER 1, DIVISION II, SECTION 1013.42 OF THE 2010 CBC)

PA2013-213 for MD2013-021
1246 Somerset Lane
Sam Rafail

REVISIONS

Copyright © 2013
Desilva Architects, Inc.
20750 SW ACACIA STREET, SUITE 130
NEWPORT BEACH, CA 92660
PHONE: (949) 370-3363
FAX: (949) 261-5482
dennis@desilvaarch.com

Desilva
ARCHITECTS, INC.
20750 SW ACACIA STREET, SUITE 130
NEWPORT BEACH, CA 92660
PHONE: (949) 370-3363
FAX: (949) 261-5482
dennis@desilvaarch.com

Desilva Architects, Inc.

Desilva Architects, Inc.

Desilva Architects, Inc.

Desilva Architects, Inc.

Desilva Architects, Inc.

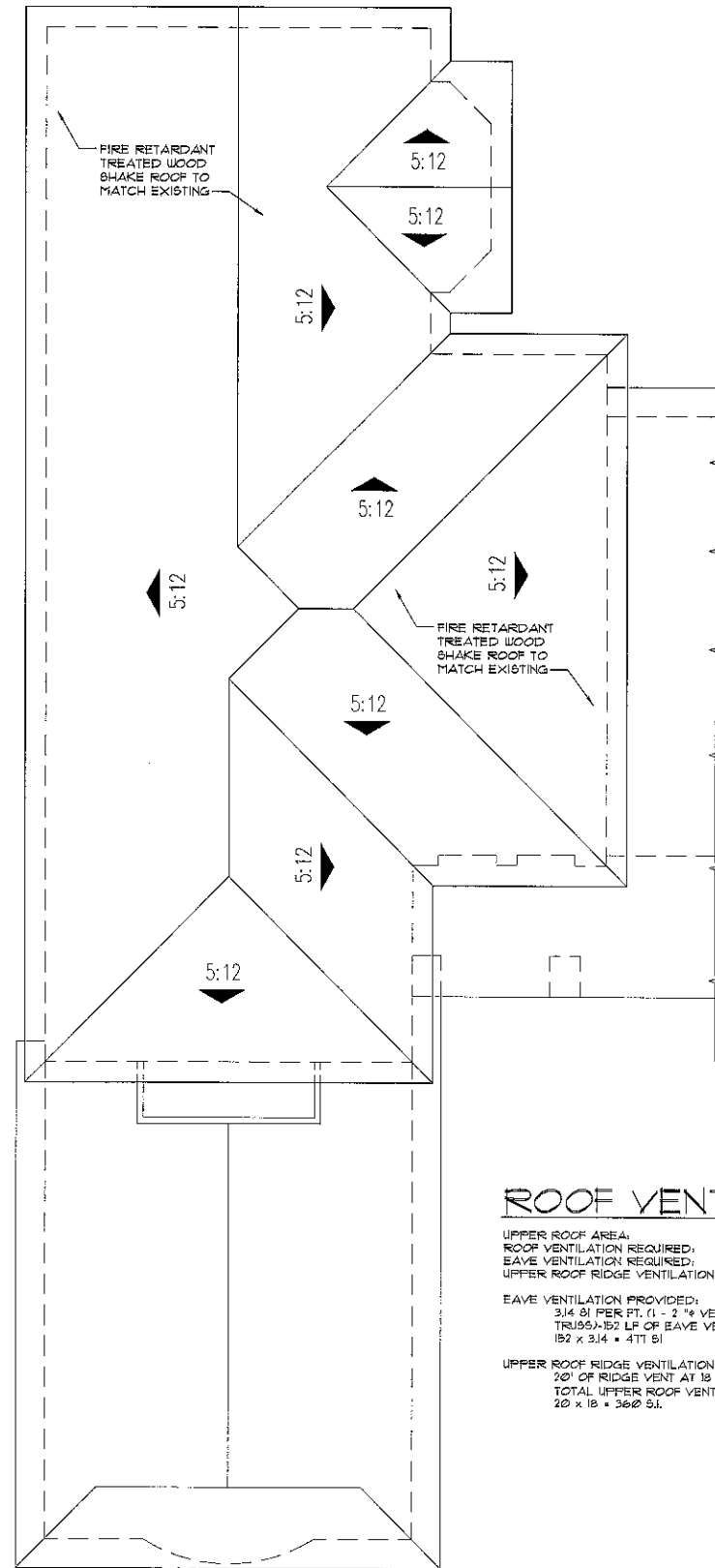
Desilva Architects, Inc.

Desilva Architects, Inc.

Desilva Architects, Inc.

Desilva Architects, Inc.

Desilva Architects, Inc.



ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF VENTILATION

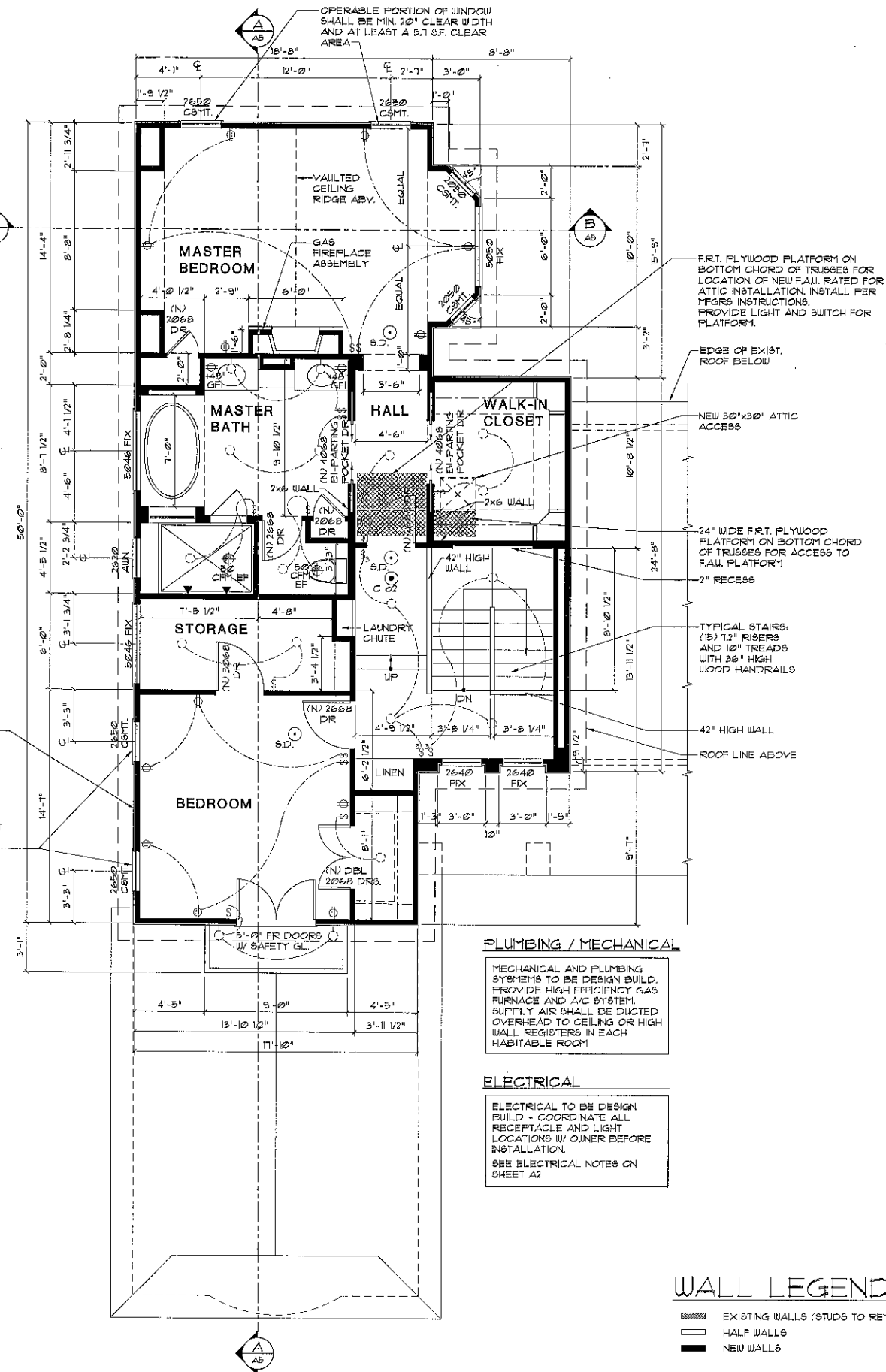
UPPER ROOF AREA: 1136 SF x 144 = 17360 SF
 ROOF VENTILATION REQUIRED: 11360 SF / 50 SF = 227 SF
 EAVE VENTILATION REQUIRED: 512 SF / 2 = 256 SF
 UPPER ROOF RIDGE VENTILATION REQUIRED: 512 SF / 2 = 256 SF

EAVE VENTILATION PROVIDED:
 3/4" VENT PER FT. (1 - 2" VENT BETW. EA. RAFTER)
 TRUSS: 152 LF OF EAVE VENTS
 152 x 3/4" = 411 SF

UPPER ROOF RIDGE VENTILATION PROVIDED:
 20' OF RIDGE VENT AT 18 SF PER FT
 TOTAL UPPER ROOF VENTILATION =
 20 x 18 = 360 SF

NOTE:
 TYPICAL EXTERIOR
 WALLS ARE 2"x4" @
 16" O.C. W/ R-13 BATT
 INSULATION

OPERABLE PORTION OF
 WINDOW SHALL BE MIN.
 20" CLEAR WIDTH AND AT
 LEAST A 5.7 SF CLEAR
 AREA



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLUMBING / MECHANICAL

MECHANICAL AND PLUMBING
 SYSTEMS TO BE DESIGN BUILD.
 PROVIDE HIGH EFFICIENCY GAS
 FURNACE AND A/C SYSTEM.
 SUPPLY AIR SHALL BE DUCTED
 OVERHEAD TO CEILING OR HIGH
 WALL REGISTER IN EACH
 HABITABLE ROOM

ELECTRICAL

ELECTRICAL TO BE DESIGN
 BUILD - COORDINATE ALL
 RECEPTACLE AND LIGHT
 LOCATIONS W/ OWNER BEFORE
 INSTALLATION.
 SEE ELECTRICAL NOTES ON
 SHEET A2

WALL LEGEND

EXISTING WALLS (STUDS TO REMAIN)
 HALF WALLS
 NEW WALLS

REVISIONS

Copyright © 2013
 Desilva Architects, Inc.
 20250 SW ACACIA ST., SUITE 130
 NEWPORT BEACH, CA 92660
 PHONE: (949) 470-3363
 FAX: (949) 470-3363
 WWW.DESILVARCH.COM

Desilva
 ARCHITECTS, INC.
 20250 SW ACACIA ST., SUITE 130
 NEWPORT BEACH, CA 92660
 PHONE: (949) 470-3363
 FAX: (949) 470-3363
 WWW.DESILVARCH.COM

DESILVA/DESILVA-06

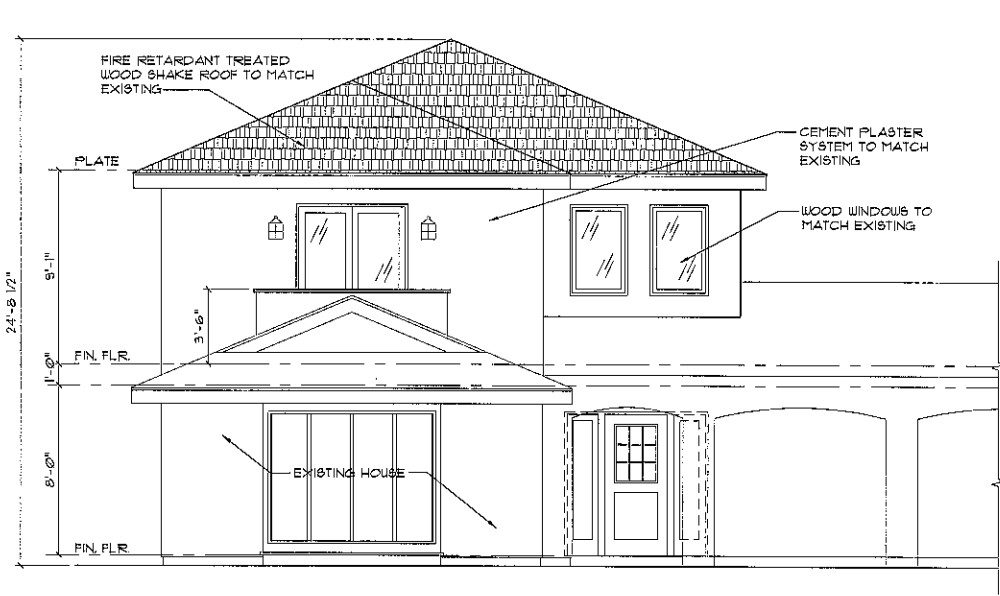
SEAL

RAFAIL RESIDENCE
 1246 SOMERSET LANE
 NEWPORT BEACH, CA

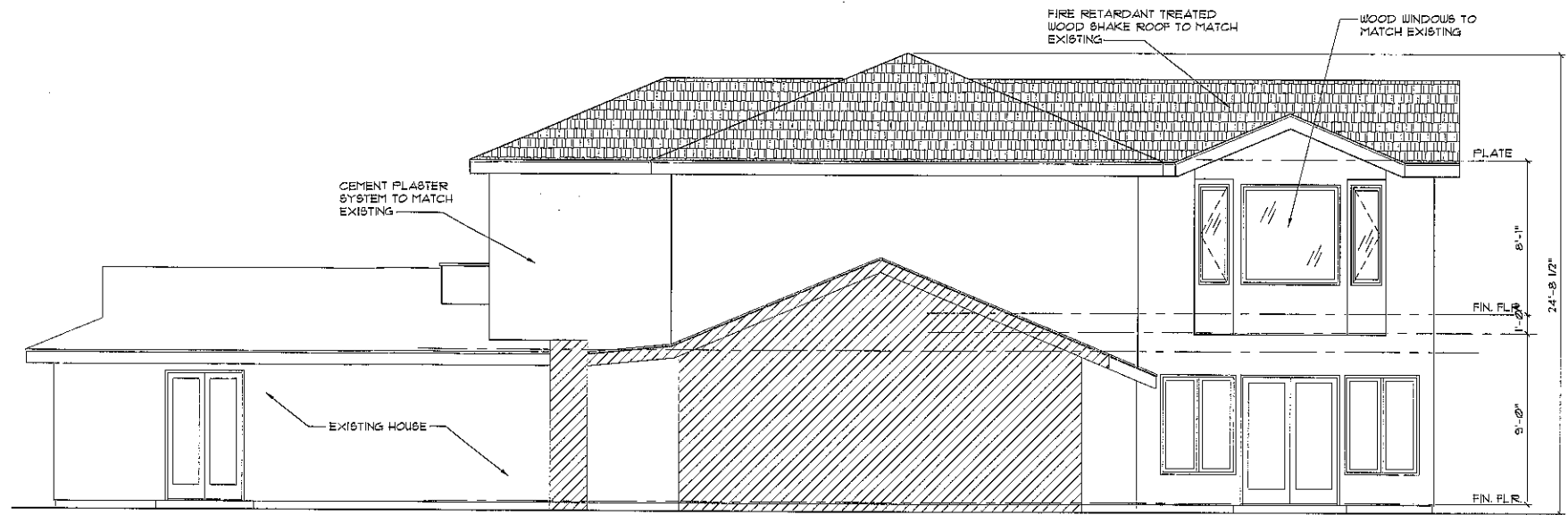
SECOND FLOOR PLAN

DRAWN BY:
 CHECKED:
 JOB NO.:
 DATE: 11-2-13
 FILE:

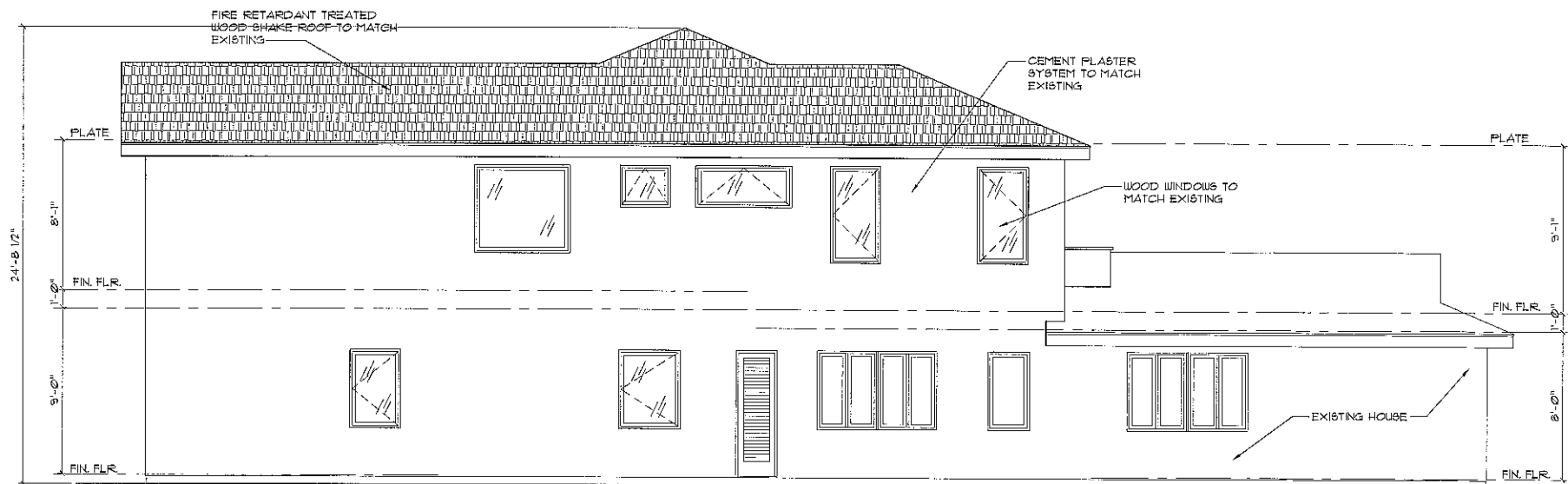
SHEET NO.
A3
 22



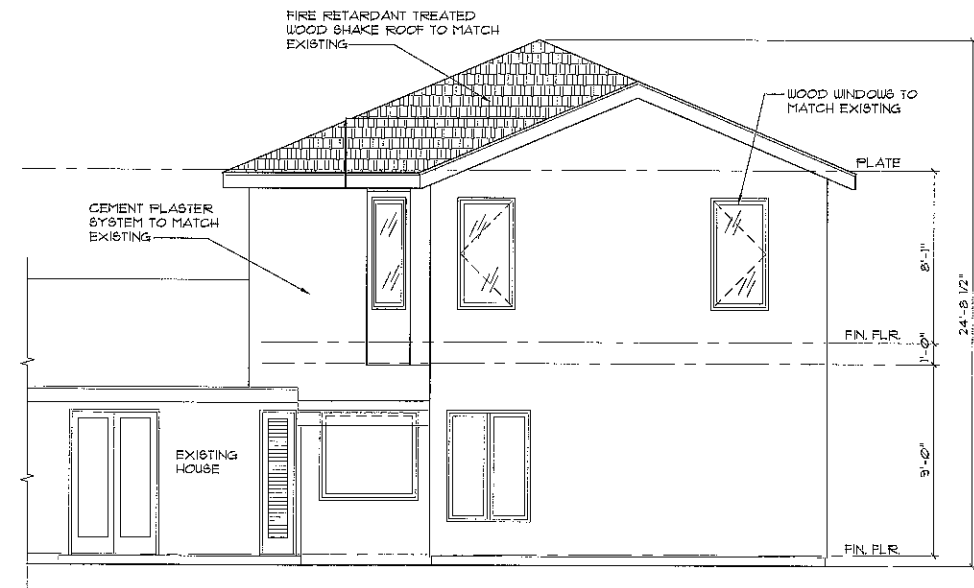
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION

REVISIONS

Copyright © 2013
DeSilva Architects, Inc.
20250 SW ACACIA ST., SUITE 130
NEWPORT BEACH, CA 92660
PHONE: (949) 770-3363
FAX: (949) 770-3363
DESIGN: DOMINIC DESILVA
DRAWING: DOMINIC DESILVA

DeSilva
ARCHITECTS, INC.
20250 SW ACACIA ST., SUITE 130
NEWPORT BEACH, CA 92660
PHONE: (949) 770-3363
FAX: (949) 770-3363
DESIGN: DOMINIC DESILVA
DRAWING: DOMINIC DESILVA

CD:DeSilva/rafael-7-13

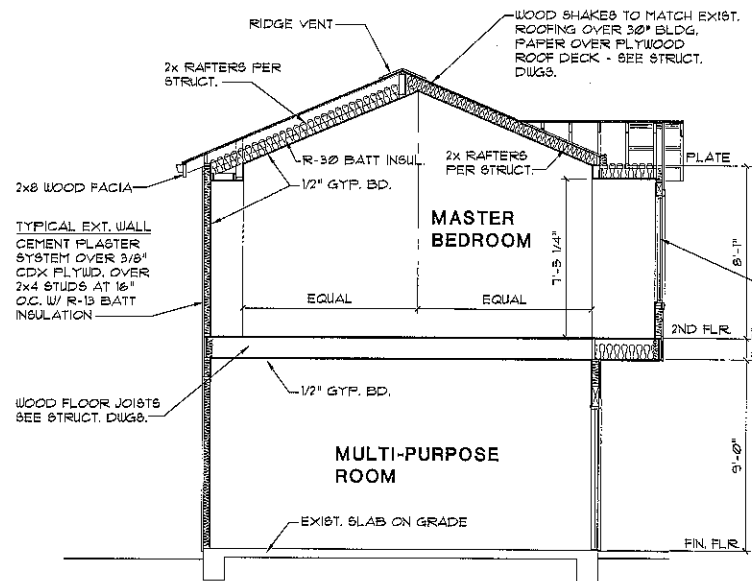
RAFAEL

RAFAEL RESIDENCE
1246 SOMERSET LANE
NEWPORT BEACH, CA

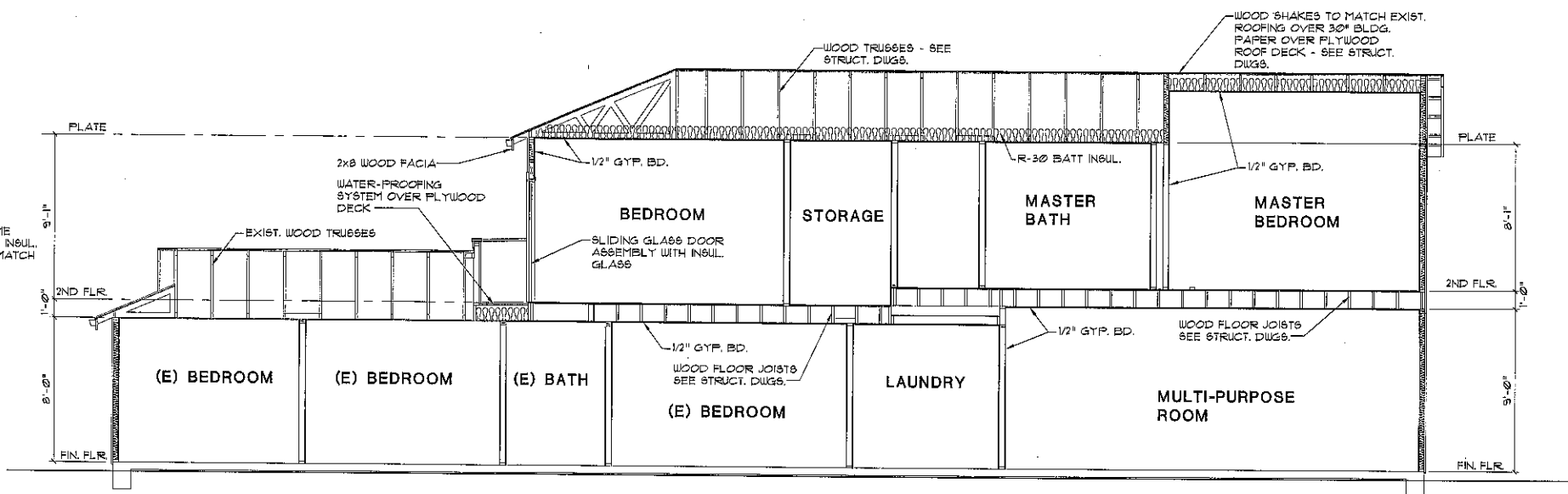
**BUILDING
ELEVATIONS**

DRAWN: LUY
CHECKED:
JOB NO:
DATE: 12-15
FILE:

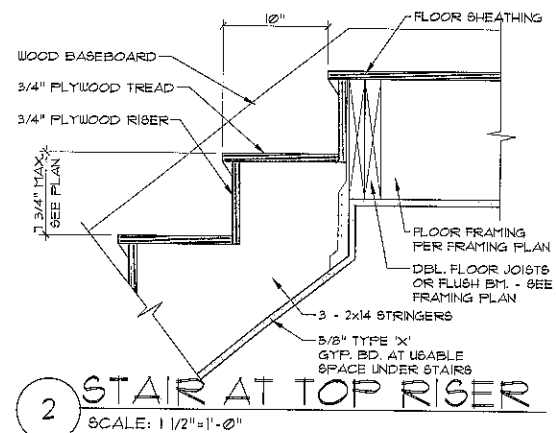
SHEET NO.
A4
23



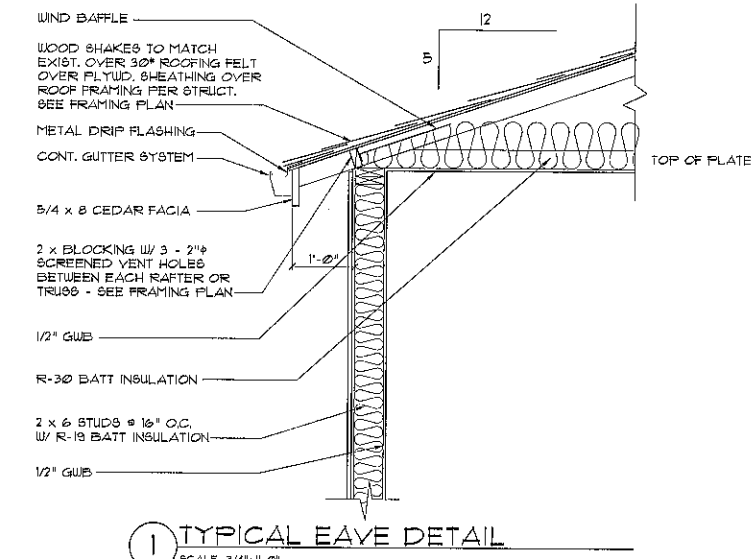
B BUILDING SECTION
SCALE: 1/4"=1'-0"



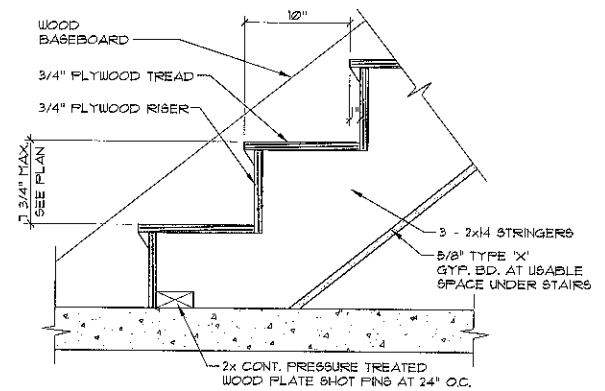
A BUILDING SECTION
SCALE: 1/4"=1'-0"



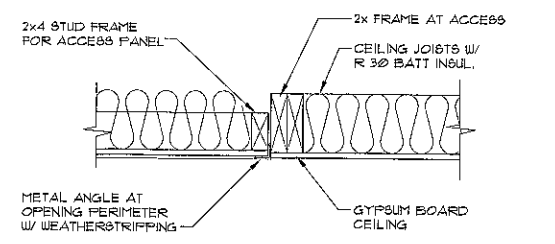
2 STAIR AT TOP RISER
SCALE: 1 1/2"=1'-0"



1 TYPICAL EAVE DETAIL
SCALE: 3/4"=1'-0"



4 STAIR AT SLAB
SCALE: 1 1/2"=1'-0"



3 ATTIC ACCESS DETAIL
SCALE: 1 1/2"=1'-0"

REVISIONS	

Copyright © 2013
DeSilva Architects, Inc.
20250 SW ACACIA ST., SUITE 130
NEWPORT BEACH, CA 92660
PHONE: (949) 370-3363
FAX: (949) 370-3363
www.DesilvaArch.com

DeSilva
ARCHITECTS, INC.
20250 SW ACACIA ST., SUITE 130
NEWPORT BEACH, CA 92660
PHONE: (949) 370-3363
FAX: (949) 370-3363
www.DesilvaArch.com

OnSite/Hand-drawn/typ

SEA:

RAFAIL RESIDENCE
1246 SOMERSET LANE
NEWPORT BEACH, CA

**BUILDING SECTIONS
DETAILS**

DRAWN BY:
CHECKED:
DESIGN:
DATE: 12-2-13
FILE:

DRAWING NO.
A5
24